

HUNTERS[®]

HERE TO GET *you* THERE



The Mount

Alwoodley, Leeds, LS17 7RH

£400,000

 3  2  1  TBC

Council Tax: D



35 The Mount

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Open Porch

16'4" - 29'6" - 3'3" - 0'0" (5'9" - 1'0")

Entrance Hall

12'0" (max) - 5'9" (max) (3.66m (max) - 1.75m (max))

Radiator and stairs to the upper level.

Dining Room

16'1" (max) - 12'0" (max) (4.90m (max) - 3.66m (max))

Bay window, gas fire with surround, radiator and double doors to the living room.

Living Room

21'0" (max) - 10'6" (max) (6.40m/0.00m (max) - 3.20m (max))

Radiator and sliding doors to the rear gardens.

Kitchen Breakfast Room

21'0" (max) - 7'3" (max) (6.40m (max) - 2.21m (max))

Sink with drainer, under counter fridge, tiled splash back, radiator, microwave, fan oven, hob with extractor over, door to the side and a range of wall and base units.

Pantry

3'0" - 3'0" (0.91m - 0.91m)

Landing

9'3" (max) - 7'9" (max) (2.82m (max) - 2.36m (max))

Stairs to the lower level.

Master Bedroom

16'1" (max) - 9'9" (max) (4.90m (max) - 2.97m (max))

Built in wardrobes, radiator and bay window.

Bedroom Two

12'0" - 10'6" (3.66m - 3.20m)

Radiator and built in wardrobes.

Bedroom Three

10'0" - 7'9" (3.05m - 2.36m)

Radiator and built in wardrobes.

Bathroom

6'10" (max) - 5'9" (max) (2.08m (max) - 1.75m (max))

Fully tiled walls and floor, panel bath with shower over, radiator and wash hand basin.

Separate W/C

4'6" - 3'2" (1.37m - 0.97m)

Fully tiled walls and floor and w/c.

Front Garden

Grassed lawns, flower beds, plants and shrubs.

Driveway

With parking for several vehicles.

Detached Garage

Up and over door, power and lights.

Rear Garden

Grassed lawns, flower beds, plants, bushes, trees, plants, shrubs and a patio to the rear of the property.

SUPERB SEMI-DETACHED PROPERTY – EXCELLENT FAMILY HOME – THREE BEDROOMS – GARDENS TO THE FRONT AND REAR – DETACHED GARAGE – DRIVEWAY – EXTENDED TO THE REAR – EXCELLENT POTENTIAL TO FURTHER EXTEND SUBJECT TO PLANNING PERMISSION – ALWOODLEY

A wonderful family home, this three bedroom semi-detached house is extended to the rear with great potential to further extended subject to planning permission. Located in the heart of Alwoodley, the property is close to goo and outstanding primary and secondary schools, parks, shops, bars, restaurants and other great amenities close by. There are gardens to the front and rear, driveway and detached garage externally. Internally, it briefly comprises; open porch, entrance hall, dining room, living room and kitchen dining room on the ground floor. On the first floor there are three bedrooms, landing, separate w/c and bathroom. Energy Rating - TBC



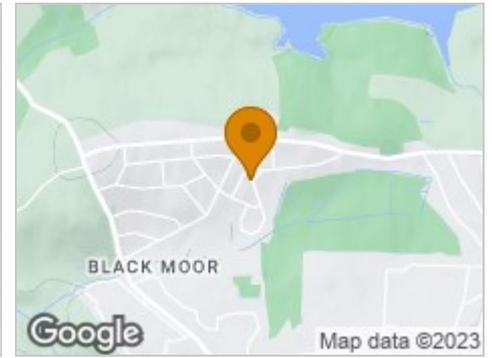
Road Map



Hybrid Map



Terrain Map



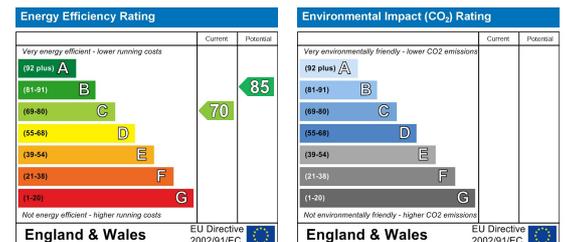
Floor Plan



Viewing

Please contact our Hunters North Leeds Office on 0113 268 0242 if you wish to arrange a viewing appointment for this property or require further information.

Energy Efficiency Graph



These particulars are intended to give a fair and reliable description of the property but no responsibility for any inaccuracy or error can be accepted and do not constitute an offer or contract. We have not tested any services or appliances (including central heating if fitted) referred to in these particulars and the purchasers are advised to satisfy themselves as to the working order and condition. If a property is unoccupied at any time there may be reconnection charges for any switched off/disconnected or drained services or appliances - All measurements are approximate. **THINKING OF SELLING?** If you are thinking of selling your home or just curious to discover the value of your property, Hunters would be pleased to provide free, no obligation sales and marketing advice. Even if your home is outside the area covered by our local offices we can arrange a Market Appraisal through our national network of Hunters estate agents.